

Plainfield NH 028-3(41) – Project Update Meeting
195311122

Date/Time: May 20, 2019 / 10:30 AM
Place: Vermont Agency of Transportation, Davis Conference Room N521
Next Meeting: TBD
Attendees: Erin Parizo, Jesse Devlin, Bram Towbin, Ross Sneyd, David Strong, Jim Volz, Ed Hutchinson, Dan Currier, Greg Goyette
Absentees: Sasha Thayer
Distribution: Attendees

Item:**Action:****Background**

Erin provided a brief history of the project to those in attendance, including recent correspondence between the Town and VTrans. After thoughtful deliberation of several alternative intersection improvements, VTrans has management approval to work with the Town to move forward with Alternative #2B.

Alternative #2B

Alternative #2B generally consists of re-aligning the intersection to a t-configuration and installing a new traffic signal. While VTrans has approval to move forward with this alternative, there are still many challenges to solve that will require collaboration between VTrans and Town representatives. Anticipated major challenges are as follows:

1. Constructability and Traffic Management – VTrans has reviewed the constructability of the improvements and has determined that construction is feasible if Main Street is temporarily closed to motor vehicle traffic and alternating one-way traffic is maintained on US Route 2 via temporary traffic signals. Alternating one-way traffic is the only way to build the project and still maintain traffic flow along US Route 2 given the constraints of the bridge and nearby historic buildings. There will likely be traffic delays on US Route 2 during peak hours while alternating one-way traffic is deployed which will be for most of the construction. It is anticipated that constructed duration could be 3 to 4 months, however construction schedule will not be known until the selected contractor develops one.

Review school bus circulation with the Town during Preliminary Plans development

The Town expressed some concern about school bus access and impact to businesses during construction. It was agreed that these are issues that VTrans and the Town will need to collaborate closely on during project development. Outreach to property owners and other

Item:

Action:

project stakeholders will be critical, and the Town is willing to support this effort.

Nearby businesses have expressed concern about loss of business during construction. VTrans does not compensate for loss of business. The Town will begin thinking about ways to support nearby businesses during construction. There may be other grant programs available that could be explored.

2. Historic Building Impacts

a. Former Hotel Building

- i. Exposing foundation of porch due to grade of Route 2 being lowered by 2 feet. The porch foundation will need to be rebuilt. A historic architectural consultant will be brought on-board to develop the design details in coordination with the VTrans Historic Preservation Officer.
- ii. The existing parking lot access will be changed. The parking lot will no longer be able to be accessed from US Route 2 and will need access from Harvey Hill Road. This will impact the function of the parking lot, and some form of mitigation may be required if the Town has permitted parking for the site, or if the property owner requests this during the ROW negotiation.

Stantec to reach out to architectural consultant to begin work on porch design options.

Dave Strong will review Town records to determine if there are any parking requirements for the site.

b. Former Hardware Store Building

- i. The Town attorney has been consulted to determine if the building has any formal parking tied to it. To date, a determination has not been made.
- ii. VTrans Historic Preservation Officer has indicated that loss of the informal parking and delivery area in front of building will compromise economic viability of building. This loss of parking needs to be mitigated. Possible options were discussed with the Town and include:
 - 1. Expanding existing lot across the street from the Town Hall. The Friends of the Plainfield Town Hall Opera House, Inc. has purchased the property next door and plans to tear down the building and expand the parking lot this fall. A few spaces could be reserved for the building.

VTrans to schedule meeting with Town and Historic Preservation Officer to discuss possible mitigation.

Item:

Action:

2. A few spaces in the public parking area located on Mill Street could be reserved for the building.

3. VTrans could possibly purchase the building as part of the project and sell it back to the Town. This would need to be reviewed internally at VTrans and any proposed modifications would still need to be reviewed and approved by historic preservation.

- iii. The existing informal parking/delivery area creates a dangerous situation at the intersection and in front of the building, especially for emergency operations. The proposed design will mitigate this.

c. Town Hall

- i. Historic preservation has an easement over the property which allows them oversight on any changes or improvements to the property.

- ii. The small stone wall will need to be removed during construction. The Town is okay with eliminating this wall. They are currently considering landscaping this area and removing the front section of the wall anyway. When the crosswalk is installed on Route 2 (under the Plainfield Bike/Ped project) and the parking area is expanded, accessible parking can be made available opposite the Town Hall Opera House. This will allow for the removal of the accessible space in front of the building, and the extension of the all on the east side down to the sidewalk.

3. Utilities

a. Aerial

- i. The existing aerial utilities will need to be relocated. Coordination with Green Mountain Power and other telecommunications companies that are one the poles will need to be completed. The State will assume responsibility for utility company coordination.

VTrans to begin utility coordination.

Item:

Action:

- ii. Existing or future Town property should be explored for new poles, guy wires, and push braces to minimize the need for easements from private property owners.

b. Water/Sewer

- i. Existing water and sewer lines may need to be replaced within the project limits due to conflicts with the proposed design or possible impacts during construction. The Town will need to pay for the design and construction of any relocation of their infrastructure. VTrans will define the impacts for the Town so that they can begin planning and design of necessary relocations.
- ii. While the design and construction would be paid for by the Town, the relocations can be built into the construction contract for the intersection improvements to help reduce costs.

Stantec to prepare plan showing impacts to existing water and sewer mains. Plan will be reviewed with Town so that next steps can be determined.

Schedule

Ideally, this project would be constructed with the planned US Route 2 paving project in 2022/23, however right-of-way, utilities, and historic preservation challenges may prevent this from happening. Collaboration with the Town moving forward will be critical in delivering this project as soon as possible.

Town contacts moving forward will be Sasha and Bram and they can share information and involve others as needed.

Next Steps

1. VTrans to discuss possible historic impact mitigation with VTrans Historic Preservation Office and determine next steps.
2. VTrans to schedule one-on-one meetings with impacted property owners to discuss impacts, hear their concerns, and discuss possible mitigation. This meeting is to happen after meeting with Historic Preservation Officer.
3. VTrans and Town to work together and schedule Public Information Meeting. The goal of the meeting will be to present the proposed improvements to the community, hear the community's input, and request that the Selectboard endorse advancement of the proposed improvements. This meeting to happen after one-on-one property owner meetings.

May 20, 2019

Plainfield NH 028-3(41) – Project Update Meeting

Page 5 of 5

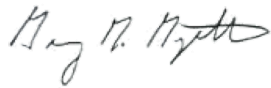
Item:

Action:

The meeting adjourned at 11:30 AM

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

Stantec Consulting Services Inc.



Gregory G. Goyette, P.E.

Senior Associate

Phone: 802 497 6403

Fax: 802-864-0165

greg.goyette@stantec.com

Attachment: Alternative #2B Concept Plan

ALT. #2B:

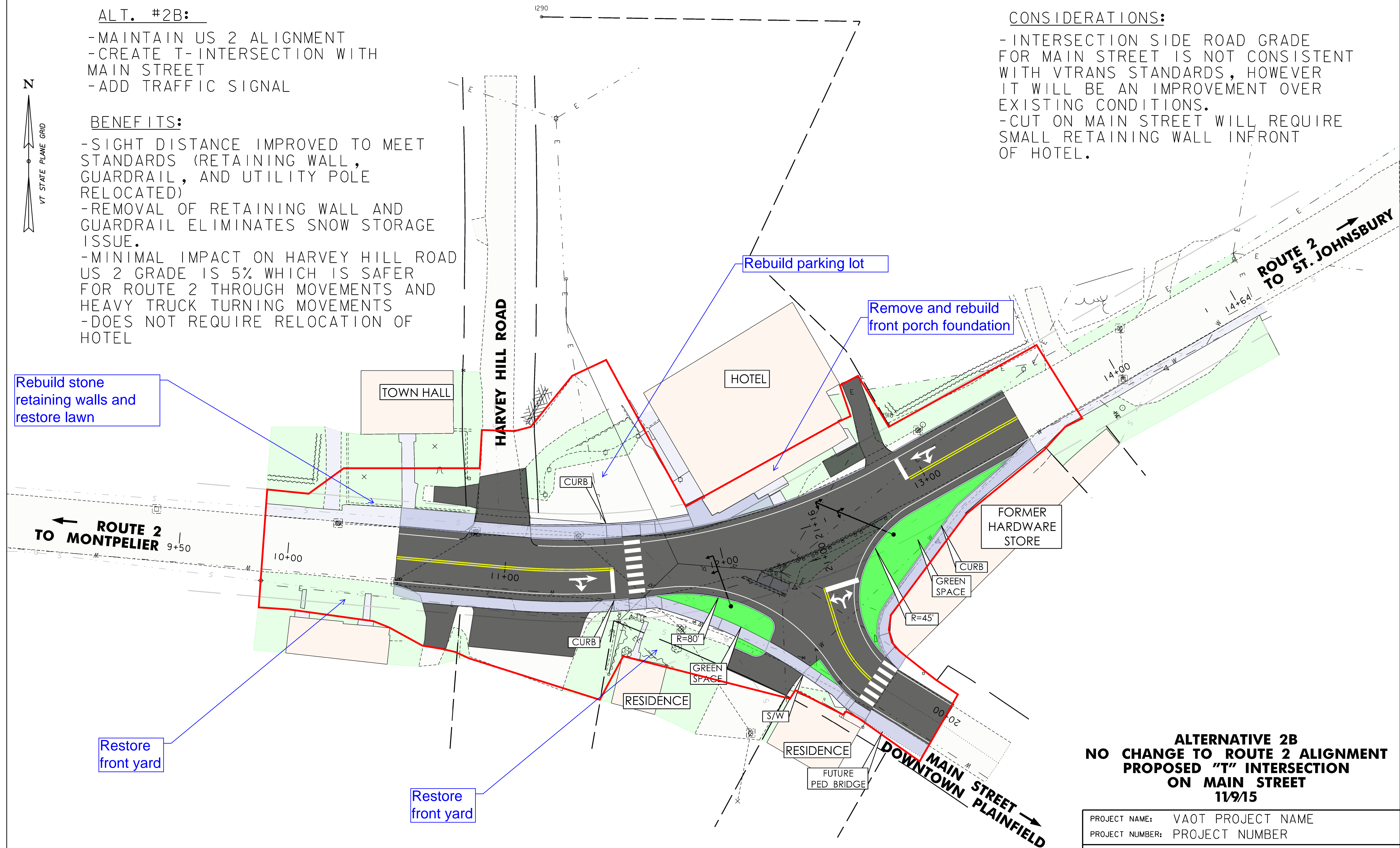
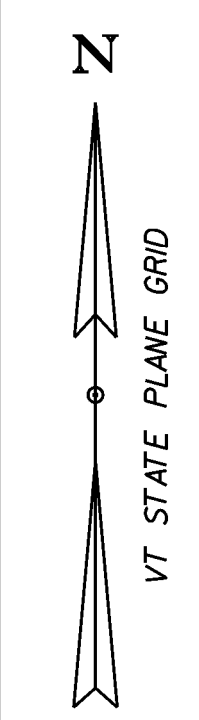
- MAINTAIN US 2 ALIGNMENT
- CREATE T-INTERSECTION WITH MAIN STREET
- ADD TRAFFIC SIGNAL

BENEFITS:

- SIGHT DISTANCE IMPROVED TO MEET STANDARDS (RETAINING WALL, GUARDRAIL, AND UTILITY POLE RELOCATED)
- REMOVAL OF RETAINING WALL AND GUARDRAIL ELIMINATES SNOW STORAGE ISSUE.
- MINIMAL IMPACT ON HARVEY HILL ROAD US 2 GRADE IS 5% WHICH IS SAFER FOR ROUTE 2 THROUGH MOVEMENTS AND HEAVY TRUCK TURNING MOVEMENTS
- DOES NOT REQUIRE RELOCATION OF HOTEL

CONSIDERATIONS:

- INTERSECTION SIDE ROAD GRADE FOR MAIN STREET IS NOT CONSISTENT WITH VTRANS STANDARDS, HOWEVER IT WILL BE AN IMPROVEMENT OVER EXISTING CONDITIONS.
- CUT ON MAIN STREET WILL REQUIRE SMALL RETAINING WALL INFRONT OF HOTEL.



Rebuild stone retaining walls and restore lawn

Rebuild parking lot

Remove and rebuild front porch foundation

Restore front yard

Restore front yard

**ALTERNATIVE 2B
NO CHANGE TO ROUTE 2 ALIGNMENT
PROPOSED "T" INTERSECTION
ON MAIN STREET
11/9/15**

PROJECT NAME:	VAOT PROJECT NAME	PLOT DATE:	3/3/2016
PROJECT NUMBER:	PROJECT NUMBER	DRAWN BY:	N. VARHUE
FILE NAME:	Alternative #2B.dgn	CHECKED BY:	G. GOYETTE
PROJECT LEADER:	G. GOYETTE	DESIGNED BY:	T. LUTHER
		SHEET 1 OF 1	

